

UNIVERSITY ENDOWMENT LANDS

Nº 369

Administration Office: 5495 Chancellor Boulevard, Vancouver 8, B.C.

TRIPLICATE

PLUMBING PERMIT

Permit No. 3/83Date Feb 8, 1983

I hereby make application under the provisions of Land Use Code to _____
plumbing work as shown below.

Location 5957- ChancellorOwner S22 Address S22Plumber Edmond Plumbing Address S22

FIXTURES TO BE INSTALLED OR REPAIRED

Story	Water-closets	Wash-basins	Bath-tubs	Sinks	Wash-tubs	Slop Hoppers	Urinals	Lawn Taps	Extra Fixtures	Sump
Basement	✓	✓		✓					<u>Laundry Tray</u> <u>Edmond</u>	
1										
2		<u>2</u>								
3										
4										
5										
6										
Total										

Purpose for which the building is to be used _____ District zoned as S/F

In consideration of the granting of the permit applied for, I agree to conform to all the requirements of the Land Use Code, and all other Statutes and by-laws in force in the University Endowment Lands, and to indemnify and keep harmless the University Endowment Lands against all claims, liabilities, judgments, costs, and expenses, of whatsoever kind, which may accrue against the said University Endowment Lands in consequence of and incidental to the granting of this permit if issued

Signature of applicant _____ S22

Address _____ S22 Telephone No _____ S22

FOR DEPARTMENTAL USE ONLY

Receipt No. _____	Minimum fee, \$3.50	ZONE CHECKED	APPLICATION ACCEPTED
Date issued: _____	Sewer inspection fee - - \$ _____		
	<u>1</u> Fixtures @ \$1.50 <u>1.50</u>		
	<u>5</u> Fixtures @ \$1.00 <u>5.00</u>		
	Total fee \$ <u>7.50</u>		

UNIVERSITY ENDOWMENT LANDS

N^o 476

Administration Office: 5495 Chancellor Boulevard, Vancouver 8, B.C.

TRIPLICATE

PLUMBING PERMIT

Permit No. 5199Date March 30, 1928

I hereby make application under the provisions of Land Use Code to _____
plumbing work as shown below.

Location 5495 Chancellor BlvdOwner S22 Address S22Plumber John L. Kelly Address S22

FIXTURES TO BE INSTALLED OR REPAIRED

Story	Water-closets	Wash-basins	Bath-tubs	Sinks	Wash-tubs	Slop Hoppers	Urinals	Lawn-Taps	Extra Fixtures	Sump
Basement										
1										
2			1	1	1	1	1	1		
3										
4										
5										
6									1 floor drain	
Total			1	1	1	1	1	1	1 (check)	

Purpose for which the building is to be used 21/2 dwelling District zoned as

In consideration of the granting of the permit applied for, I agree to conform to all the requirements of the Land Use Code, and all other Statutes and by-laws in force in the University Endowment Lands, and to indemnify and keep harmless the University Endowment Lands against all claims, liabilities, judgments, costs, and expenses, of whatsoever kind, which may accrue against the said University Endowment Lands in consequence of and incidental to the granting of this permit, if issued.

Signature of applicant S22Address S22 Telephone No. S22

FOR DEPARTMENTAL USE ONLY

Receipt No. _____	Minimum fee, \$3.	ZONE CHECKED	APPLICATION ACCEPTED
Date issued: <u>March 30/28</u>	Sewer inspection fee - - - \$ <u>26.00</u>		
	Fixtures @ \$1.50 <u>26.00</u>		
	Fixtures @ \$1.00 <u>26.00</u>		
	Total fee \$ <u>26.00</u>		

J. NOVACEK

& associates ltd.

Date: DEC 6, 1988

To: MULTIGON PROJECT MANAGEMENT

From: BRYCE WELLENBRINK Job No.: 8873

Job Name: 5951 CHANCELLOR S22 HOUSE RENOVATION

Re: DESIGN MODIFICATIONS.

THE FOOTING AT BAYLINE D1 IS TO BE
REMOVED. THE MAIN FLOOR JOIST MUST
NOW RUN PERPENDICULAR TO THE ORIGINAL
DESIGN & ARE TO BE 2"x10" @ 12" O.C.
THE FOOTING AT BAYLINE C1 IS TO
REMAIN. SEE ATTACHED SKETCH SK1.

Signed: B.A. Wellenbrink

Copy to: MULTIGON

SITE.



Suite 1 - 1151 West 8th Ave., Vancouver, B.C. V6H 1C5 Tel. 736-2544

Hand-drawn structural diagram of a wall section. The diagram shows a cross-section of a wall with various structural elements and annotations:

- Top Section:** Two circular markers labeled (C) and (D) are positioned at the top corners. Below them are two circular markers, each containing a circle with a diagonal line and the number 52. Arrows point from these markers to the text "FIG. RETAINS".
- Central Section:** A horizontal line is labeled "2-2x10". Below this line, the text "STEP UP NEW FG" is written.
- Lower Section:** A rectangular area is outlined, with the text "PROVIDE VENTILATION FOR THIS SPACE" written inside. Below this area, the text "2x10x12" is written, followed by "JOIST HANGERS ON EXIST WALL".
- Left Side:** The text "EXIST WALLS" is written vertically, with an arrow pointing to the left wall.
- Right Side:** A circular marker containing a circle with a diagonal line and the number 52 is positioned on the right side. Below it, the text "2x10" is written vertically.
- Bottom Section:** The text "FOR BEAM OVER" is written at the bottom left, with an arrow pointing to the bottom wall.

NEW SOLARIUM
ADDITION
TO MATCH EXIST

FIG. ELIMINATED

NEW CEDAR
SLIDING DO
WATCH EXIST

$$C_0 \times C_0 \rightarrow \mathbb{R}^2$$

DOWELS
INTO EXIST.

NEW WALLS 20

CRAWL SPACE
2" CONCRETE
ON 6 MIL POLY
COMPACTED

SL



UNIVERSITY ENDOWMENT LANDS

N^o 818

Administration Office: 5495 Chancellor Boulevard, Vancouver 8, B.C.

DUPLICATE

Permit to Erect, Alter, Repair, or Remove a BuildingPermit No. 218 Date November 30, 19 88I hereby make application under the provisions of the Land Use Code for permission to renovate the following building:—Location 5951 Chancellor Blvd (Designate number or numbers, street or avenue.) Fire Limits No. 86Lot 26 Subdivision 3 Block 73 District Lot 73Owner or agent S22 Address S22Architect "Honey" Address 145 W. 15th Avenue.Contractor S22 Address S22

DISTRICT ZONED AS	PURPOSE FOR WHICH BLDG. IS TO BE USED	AREA OF		REQUIRED YARDS	Height of Building	CLASS OF CONSTRUCTION
		Site	Building			
<u>S/F</u>		Frontage		Front	Stories	
		Depth		Side	Feet	
		Total sq. ft.		Rear		

FOUNDATION	Joists, etc., at 16" Centres	CHIMNEYS	SPECIAL DETAILS
	Ground	No.	<u>To construct addition to home at above address as per plans approved November 23/88.</u>
	Upper	No. flues	
	Ceiling	Size of flues	
Posts	Studding		
Beams	Rafters		

NOTE.—By issuing this permit the Administration assumes no responsibility whatsoever for opening roads and lanes or providing water service for or in connection with the property in respect of which this permit is issued, and the owner of the said property or other parties interested therein accept this permit subject to the said conditions.

Estimated cost of erection, repair, alteration (total cost ready for occupancy), or removal of building (including alteration after removal) \$27,000.00

In consideration of the granting of the permission applied for, I hereby agree to indemnify and keep harmless the University Endowment Lands against all claims, liabilities, judgments, costs, and expenses, of whatsoever kind, which may in any way accrue against the said University Endowment Lands in consequence of and incidental to the granting of this permit, if issued. And I agree to pay the cost of repairing any damage to the sidewalk and (or) curb by reason of the building operations in respect of which this permit is applied for, and I further agree to conform to all regulations and all other Statutes in force in the University Endowment Lands.

Signature of applicant S22Address S22 Telephone No. S22

FOR DEPARTMENT USE ONLY

Receipt No.	FEES	APPLICATION, PLAN, ZONING	APPLICATION, PLAN, SPECIFICATIONS, FIRE LIMITS
Date issued: <u>November 30/88</u>	Building fees - <u>\$2.50</u>	Checked by:	Checked by:
	Water rates - <u>\$2.50</u>		
	Total - <u>\$5.00</u>		

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UNIVERSITY ENDOWMENT LANDS
BUILDING PLAN AND INSPECTION CHECK SHEET

NAME S22		Telephone	Zone S/F	Legal 3/86	Unit II
ADDRESS 5957 Chancellor Blvd.		S22			
ZONING	PLANS 29 Sept/88 RECEIVED	REVISIONS:			
TYPE OF PROJECT: <u>Addition / Renovations</u>					
SET BACK	REQUIRED:	FRONT 60	SIDE 20	REAR 5	HEIGHT 25
	OTHER:	100 ft add.			
	PROVIDED:	60	20	N/A	N/A
		123 ft add.			
RELAXATION	REQUESTED:	16 August, 1988			OBTAINED: ✓ 25 August, 1988
Approved By: <u>[Signature]</u>	Date:	28 Oct. 1988			Legal Survey

PLAN CHECK	REMARKS	CLEARED	PLAN CHECK	REMARKS	CLEARED
Room Sizes & Areas		✓	Lumber Grade		* ✓
Room Heights		✓	Stud Walls & Sheathing		* ✓
Doors		✓	Floor Joists		* ✓
Windows/Ventilation		✓	Ceiling Joists		* ✓
Stairs/Ramps		✓	Lintels		* ✓
Handrails/Guards	N/A	✓	Roof Rafters/Joists		* ✓
Curved/Circular Stairs	"	✓	Roofing		* ✓
Exterior Guards-Decks and Balconies	42" on balcony	✓	Wood Beam	6"x6" posts min.	* ✓
Exits	N/A	✓	Reinforced Concrete/Columns/Glulamated/Steel Beams	Glulam: letter of Cert. required.	* ✓
Smoke Alarms	S.A. in sleeping Areas	* ✓	Trusses: Plans & Letter of Certification		✓
Fire Separation/Sound Control of Dwelling Units	N/A	✓	Insulation/V.B. Ventilation		* ✓
Waterproofing/Dampproofing	N/A	✓	Chimney & Flues		✓
Drain Tile		* ✓	Prefabricated Fireplaces/Stoves	N/A	✓
Footings/Foundations/Slabs	Min 20"	✓	Attached Carports & Garages	N/A	✓
Crawl Space		✓	Beams/Joists	N/A	✓
Letter of Assurance	Date:		Fire Separation		
Fire Prevention	Date:		Checked by: <u>[Signature]</u>	Date: 88/11/01	

ENGINEERING	REMARKS:	DAMAGE DEPOSIT	REFUND:
BUILDING	DEMOLITION PERMIT NO:	DATE	BUILDING PERMIT NO: 818
			DATE 30 November, 1988

INSPECTION	DATE OF INSPECTION	CORRECTION NOTICES/REMARKS	APPROVED
FOOTING/FOUNDATION	88/12/08		[Signature]
DRAIN TILE/DAMP PROOFING	89/02/20	Drain tile & R/W c/o's.	[Signature]
FRAMING	89/03/22	Sump (see below)	[Signature]
INSULATION/V.B.	89/03/22		[Signature]
FINAL	89/03/30		[Signature]

PLUMBING	PERMIT NO: 476	DATE 30 March 89	GAS CLEARED	ELECTRIC CLEARED
INSPECTION	DATE OF INSPECTION	CORRECTION NOTICES/REMARKS	APPROVED	
BELOW SLAB	N/A			
ROUGH IN	89/03/30		[Signature]	
SUMP/SEWER CONNECTIONS	89/09/26		[Signature]	
WATER CONNECTIONS	N/A		[Signature]	
FINAL				

ENGINEER

CONTRACTOR

DATE

REMARKS

88/11/01

"

88-11-23

phoned architect/designer re: situation over page. he will send revised plans that her contractor could begin excavation of addition but no concrete poured until revisions had been approved and a permit obtained. 53

Phoned Mr. Homey: the revisions are OK; only the must sign I plan to allow the change from the Relaxation from 1 story to two stories.

Final 89/09/26

- End of Clu-farm plastered for Protection
- Soffit enclosed
- Shoring gaps
- Rail & Guard off Bedroom
- Boulevard Seed & Clean



Province of
British Columbia

OFFICE OF THE MINISTER

Ministry of
Municipal Affairs

Rec & Culture

Blue. Stenning
Government Buildings
Victoria
British Columbia
V8V 1X4



August 25, 1988

3/86

S22

5957 Chancellor Boulevard
Vancouver, British Columbia
V6T 1E6

Dear S22

I am pleased to grant a relaxation to permit the construction of an addition to your home as requested in your letter of August 16, 1988.

Mr. B.A. Stenning, Manager of the University Endowment Lands has been authorized to issue the necessary building permit once plans have been approved in accordance with the British Columbia Building Code.

Sincerely,

SEP 08 1988

Rita M. Johnston
Minister

~~KM FILE~~ *BAS file*
KM DIARY
MIN FILE
MIN DIARY

88-08-18
BAS:aa

60m
for km

*map/sketch given to Eric Peterson
with copy of letter
Sept 14/88. A. Asher*



Province of
British Columbia

OFFICE OF THE MINISTER

Ministry of
Municipal Affairs

Rec + Culture

Bruce Stenning
Present Buildings
Victoria
British Columbia
V8V 1X4



August 25, 1988

S22

5957 Chancellor Boulevard
Vancouver, British Columbia
V6T 1E6

Dear S22

I am pleased to grant a relaxation to permit the construction of an addition to your home as requested in your letter of August 16, 1988.

Mr. B.A. Stenning, Manager of the University Endowment Lands has been authorized to issue the necessary building permit once plans have been approved in accordance with the British Columbia Building Code.

Sincerely,

SEP 08 1988

Rita M. Johnston
Minister

[Signature]
88-08-18
BAS:aa
[Signature]
[Signature]

~~KM FILE~~ *BAS file*
KM DIARY
MIN FILE
MIN DIARY



Province of
British Columbia

Ministry of
Municipal Affairs
UNIVERSITY ENDOWMENT LANDS

MEMORANDUM

To: Mr. Ken MacLeod
Assistant Deputy Minister/Inspector
of Municipalities
Ministry of Municipal Affairs,
Recreation & Culture
747 Fort Street
Victoria, B.C.
V8W 3E1

Date: 88-08-18
file:3/86

Re: Relaxation of University Endowment Lands Regulations
7 (6.1) (a) S22 - 5957 Chancellor Boulevard

Enclosed is a request for a relaxation to the University Endowment Land Regulations to permit an extension to a single family dwelling.

This dwelling is located in Unit 2 where the maximum size of addition has been limited to 100 sq. feet pending the adoption of the new Community Plan and Regulations. This request is for an addition of 132 sq feet and is supported by the only neighbour who could be affected by the addition. The proposed renovation complies with all other aspects of the Regulations. The administration supports the request and recommends a relaxation be granted.

Attached is a letter for the Minister's signature granting the relaxation. Please return a signed copy of the relaxation and the enclosed plan for our records.

B. A. Stenning

Bruce Stenning
Manager
University Endowment Lands

BAS/aa

attachment/

J
25/8

AUG 23 1988

S22

5957 CHANCELLOR BOULEVARD, VANCOUVER, BRITISH COLUMBIA, CANADA V6T 1E6

August 16th, 1988

Hon. Rita Johnston
Minister of Municipal Affairs
Victoria, British Columbia

Dear Madam ;

I am writing today to request your ministrys approval of an extention to my home on the University of British Columbia Endowment Lands.

We wish to extend our existing family room Eastward in a 132 sq. ft. expansion. This request has already been discussed with the neighbours involved and has been supported (as per attatched document).

Thank you very much for your kind consideration in this matter and I hope to hear from your office in the near future as to your decision.

Sincerely,

S22



Province of
British Columbia

Ministry of
Municipal Affairs
UNIVERSITY ENDOWMENT LANDS

MEMORANDUM

To: Mr. Ken MacLeod
Assistant Deputy Minister/Inspector
of Municipalities
Ministry of Municipal Affairs,
Recreation & Culture
747 Fort Street
Victoria, B.C.
V8W 3E1

Date: 88-08-18

file: 3/86

04/02

Re: Relaxation of University Endowment Lands Regulations
7 (6.1) (a) S22 - 5957 Chancellor Boulevard

Enclosed is a request for a relaxation to the University Endowment Land Regulations to permit an extension to a single family dwelling.

This dwelling is located in Unit 2 where the maximum size of addition has been limited to 100 sq. feet pending the adoption of the new Community Plan and Regulations. This request is for an addition of 132 sq feet and is supported by the only neighbour who could be affected by the addition. The proposed renovation complies with all other aspects of the Regulations. The administration supports the request and recommends a relaxation be granted.

Attached is a letter for the Minister's signature granting the relaxation. Please return a signed copy of the relaxation and the enclosed plan for our records.

BA Stenning

Bruce Stenning
Manager
University Endowment Lands

BAS/aa

attachment/

Copy 13 0402

Min letter on 0000

Page 13 redacted for the following reason:

S22

5957 Chancellor Blvd.

Date	Inspection	Remarks
17 Jan '83	Form inspection	OK
8 Feb '83	framing inspection	① 3 joist hangers in kitchen OK. ② Post in Basement - strengthened - 3-2x4's OK. ③ Fire stopping in Stair well OK.
8 Feb '83	Rough plumbing	- Access panel to be cut into wall @ base of 4" stack.
14 Feb '83	Insulation & V.B. inspect.	① flue in master bedroom to be covered before drywall. ② access panel still needed

UNIVERSITY ENDOWMENT LANDS

No. 650

3/86

Administration Office: 5495 Chancellor Boulevard, Vancouver 8, B.C.

DUPLICATE

Permit to Erect, Alter, Repair, or Remove a Building

Permit No. 1/23

Date Jan 13, 1983

I hereby make application under the provisions of the Land Use Code for permission to the following building:—

Location 5957 Chancellor. (Designate number or numbers, street or avenue.) Fire Limits No.

Lot 3 Subdivision Block 86 District Lot 140.

Owner or agent S22 Address S22

Architect Address

Contractor Amako Construction Address 205-585-16th St West Van

DISTRICT ZONED AS	PURPOSE FOR WHICH BLDG. IS TO BE USED	AREA OF		REQUIRED YARDS	Height of Building	CLASS OF CONSTRUCTION
		Site	Building			
S/F		Frontage		Front	Stories	
		Depth		Side	Feet	
		Total sq. ft.		Rear		

FOUNDATION	Joists, etc., at 16" Centres	CHIMNEYS	SPECIAL DETAILS
	Ground	No.	Renovations to existing house
	Upper	No. flues	
	Ceiling	Size of flues	Solarium + new work on closet
Posts	Studding		
Beams	Rafters		

NOTE.—By issuing this permit the Administration assumes no responsibility whatsoever for opening roads and lanes or providing water service for or in connection with the property in respect of which this permit is issued, and the owner of the said property or other parties interested therein accept this permit subject to the said conditions.

Estimated cost of erection, repair, alteration (total cost ready for occupancy), or removal of building (including alteration after removal) \$ 35,000.

In consideration of the granting of the permission applied for, I hereby agree to indemnify and keep harmless the University Endowment Lands against all claims, liabilities, judgments, costs, and expenses, of whatsoever kind, which may in any way accrue against the said University Endowment Lands in consequence of and incidental to the granting of this permit, if issued. And I agree to pay the cost of repairing any damage to the sidewalk and (or) curb by reason of the building operations in respect of which this permit is applied for, and I further agree to conform to all regulations and all other Statutes in force in the University Endowment Lands.

Signature of applicant

S22

Address 205-585-16th St West Van. Telephone No. S22

FOR DEPARTMENT USE ONLY

Receipt No.	FEEs	APPLICATION, PLAN, ZONING	APPLICATION, PLAN, SPECIFICATIONS, FIRE LIMITS
Date issued:	Building fees - \$ 90.00	Checked by: [Signature]	Checked by:
	Water rates -		
	Total - \$ 90.00		

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CERTIFICATE OF CONFORMANCE

Surrey Laminated Products Ltd.



10
FOR
MANUFACTURERS
OF
STRUCTURAL GLUED-LAMINATED TIMBER

hereby declare that the

STRUCTURAL GLUED-LAMINATED TIMBER MEMBERS

designated hereunder forming all or part of

Laminated House Beam for:

5957 - Chancellor Blvd,

(Name of Project)

Vancouver, B.C.

have been manufactured to comply with CSA Standard O122, Structural Glued-Laminated Timber.

Our Job No. 2825

SURREY LAMINATED PRODUCTS LTD.

By S. BECK

Title Manager

Date January 13, 1983

No. 1416

(Additional information or references may be listed on the reverse hereof)

November, 1981

ONE TWO FAMILY DWELLINGS - CHECK SHEET				ZONE	JOB NO.	INDEX MAP NO.
ADDRESS: 5957 CHANCELLOR BLVD.				S/F		3/86
WORKING	Required	Provided	Cleared	BUILDING	Remarks	Cleared
Correspondence File				Engineering		✓
Demolition: Development Permit				Planning		✓
Building Permit				Index Map		✓
Study Areas				Location in Peat Bog Area (See index map)	N/A	✓
Other Special Restrictions				Room Sizes & Areas		✓
Building Lines				Room Heights		✓
Inside Site				Doors		✓
Corner Site				Windows/Ventilation		✓
Corner Flanking Site				Stairs/Ramps	SEE BELOW	
Double Fronting Site				Handrails/Guards		
Height/Storeys				Curved/Circular Stairs	N/A	✓
Front Yard				Exterior Guards-Decks and Balconies	*	
Side Yards				Exits		
Rear Yard				Spatial Separation	Pmt'd Pps'd Clr'd	
Lane Width				Left		✓
Projections Into Required Yards				Right		✓
Affidavit				Smoke Alarms	*	
Design Clearance				Fire Separation/Sound Control of Dwelling Units	N/A	✓
Subdivision				Waterproofing/Damproofing		✓
Two Family Dwelling Site Registration Site	Date:			Drain Tile		✓
	Size:			Footings/Foundations/Slabs		✓
	Area:			Crawl Space		✓
Site Less than 32' wide or 3600 sq. ft. area				Lumber Grade		✓
Floor Space Ratio	Cellar/Basement First			Stud Walls & Sheathing		✓
	Second			Floor Joists		✓
	Proposed			Ceiling Joists		✓
	Permitted			Lintels		✓
				Roof Rafters/Joists		✓
				Roofing		✓
				Wood Beam	*	
				Reinforced Concrete/Columns/Glulam/Steel Beams	*	
				Trusses: Plans & Letter of Certification		
				Insulation		✓
				Chimney & Flues	N/E	✓
				Prefabricated Fireplaces	N/A	✓
				Attached Carports & Garages	N/A	✓
				Rooms/Joists/Fire Separation	N/A	✓
				Hydro Cable	N/A	✓
				Clearance from Building	N/A	✓
Checked By:	P.C.A.1			Checked By:	P.C.A.1	Date: 12/28/83

Remarks:

D 1480 code to be standard used
 E 1200 stair tread must comply with code
 E 1500 Deck railing must be 42"

E Smoke Alarm wired into elec. system
 E BLUE-LAM letter of Certification from Manufacturer.

(b) Letter of Signification from Structural Engineer.
 as required by code.

UNIVERSITY ENDOWMENT LANDS

No

446

Administration Office: 5495 Chancellor Boulevard, Vancouver 8, B.C.

DUPLICATE

Permit to Erect, Alter, Repair, or Remove a Building

Permit No. 1174Date January 7, 1974I hereby make application under the provisions of the Land Use Code for permission to _____
the following building:—Location 5957 Chancellor Blvd Fire Limits No. _____
(Designate number or numbers, street or avenue.)Lot 3 Subdivision _____ Block 86 District Lot 140Owner or agent DR. D.K. Williams Address _____ S22 _____

Architect _____ Address _____

Contractor _____ Address _____

DISTRICT ZONED AS	PURPOSE FOR WHICH BLDG. IS TO BE USED	AREA OF		REQUIRED YARDS	Height of Building	CLASS OF CONSTRUCTION
		Site	Building			
<u>S/F</u>		Frontage _____		Front _____	Stories _____	
		Depth _____		Side _____	Feet _____	
		Total sq. ft. _____		Rear _____		

FOUNDATION	Joists, etc., at 16" Centres	CHIMNEYS	SPECIAL DETAILS
	Ground _____	No. _____	<u>To construct carport & pumucke addition to house as per plans deposited with U.E.L. administration office. Subject to 2 rows of solid or herringbone strutting on the ceiling of the carport.</u>
	Upper _____	No. flues _____	
	Ceiling _____	Size of flues _____	
Posts _____	Studding _____		
Beams _____	Rafters _____		

NOTE.—By issuing this permit the Administration assumes no responsibility whatsoever for opening roads and lanes or providing water service for or in connection with the property in respect of which this permit is issued, and the owner of the said property or other parties interested therein accept this permit subject to the said conditions.

Estimated cost of erection, repair, alteration (total cost ready for occupancy), or removal of building (including alteration after removal) \$ 6,000.00.

In consideration of the granting of the permission applied for, I hereby agree to indemnify and keep harmless the University Endowment Lands against all claims, liabilities, judgments, costs, and expenses, of whatsoever kind, which may in any way accrue against the said University Endowment Lands in consequence of and incidental to the granting of this permit, if issued. And I agree to pay the cost of repairing any damage to the sidewalk and (or) curb by reason of the building operations in respect of which this permit is applied for, and I further agree to adhere to all regulations and all other Statutes in force in the University Endowment Lands.

Signature of applicant _____

S22

Address _____

S22

Telephone No. _____

S22

FOR DEPARTMENT USE ONLY

Receipt No. _____	FEEs	APPLICATION, PLAN, ZONING	APPLICATION, PLAN, SPECIFICATIONS, FIRE LIMITS
Date issued: _____	Building fees - \$ <u>17.50</u>	Checked by: <u>R. G. Brown</u>	Checked by: _____
	Water rates - _____		
	Total - \$ <u>17.50</u>		

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UNIVERSITY ENDOWMENT LANDS

Administration Office: 5495 Chancellor Boulevard, Vancouver 8, B.C.

No

300

DUPLICATE

Permit to Erect, Alter, Repair, or Remove a Building

Permit No. 92-69Date Sept 5, 1969I hereby make application under the provisions of the Land Use Code for permission to _____
the following building: _____Location 5957 Chancellor Blvd Fire Limits No. _____
(Designate number or numbers, street or avenue.)Lot 3 Subdivision 8 Block 86 District Lot 140Owner or agent John McKay Address _____Architect Self Address _____Contractor Self Address _____

DISTRICT ZONED AS	PURPOSE FOR WHICH BLDG. IS TO BE USED	AREA OF		REQUIRED YARDS	Height of Building	CLASS OF CONSTRUCTION
		Site	Building			
		Frontage		Front	Stories	
		Depth		Side	Feet	
		Total sq. ft.		Rear		

FOUNDATION	Joists, etc., at 16" Centres	CHIMNEYS	SPECIAL DETAILS
	Ground	No.	addition & alterations as per plan deposited with M & L office.
	Upper	No. flues	
	Ceiling	Size of flues	
Posts	Studding		
Beams	Rafters		

NOTE.—By issuing this permit the Administration assumes no responsibility whatsoever for opening roads and lanes or providing water service for or in connection with the property in respect of which this permit is issued, and the owner of the said property or other parties interested therein accept this permit subject to the said conditions.

Estimated cost of erection, repair, alteration (total cost ready for occupancy), or removal of building (including alteration after removal) \$ 10,000.00

In consideration of the granting of the permission applied for, I hereby agree to indemnify and keep harmless the University Endowment Lands against all claims, liabilities, judgments, costs, and expenses, of whatsoever kind, which may in any way accrue against the said University Endowment Lands in consequence of and incidental to the granting of this permit, if issued. And I agree to pay the cost of repairing any damage to the sidewalk and (or) curb by reason of the building operations in respect of which this permit is applied for, and I further agree to conform to all regulations and all other Statutes in force in the University Endowment Lands.

Signature of applicant

S22

Address

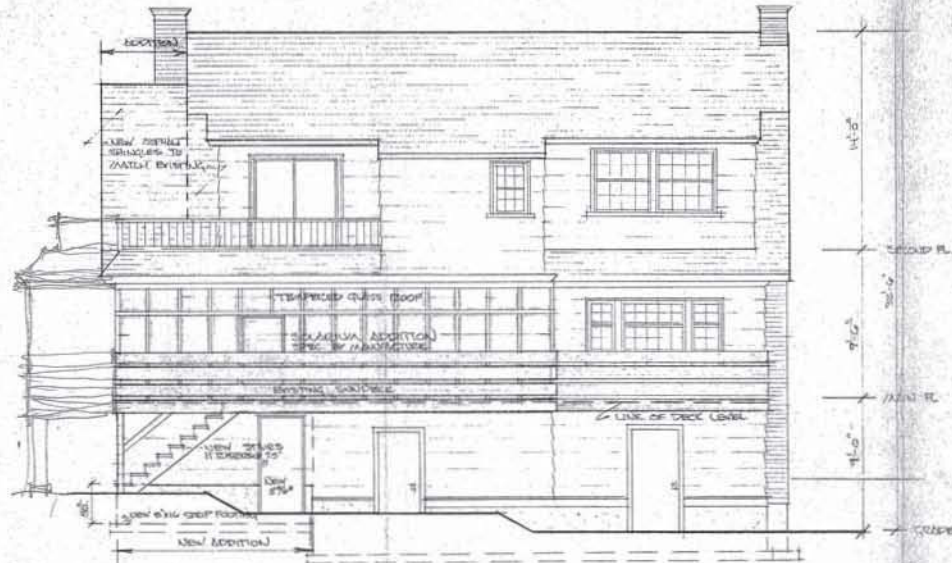
S22

Telephone No.

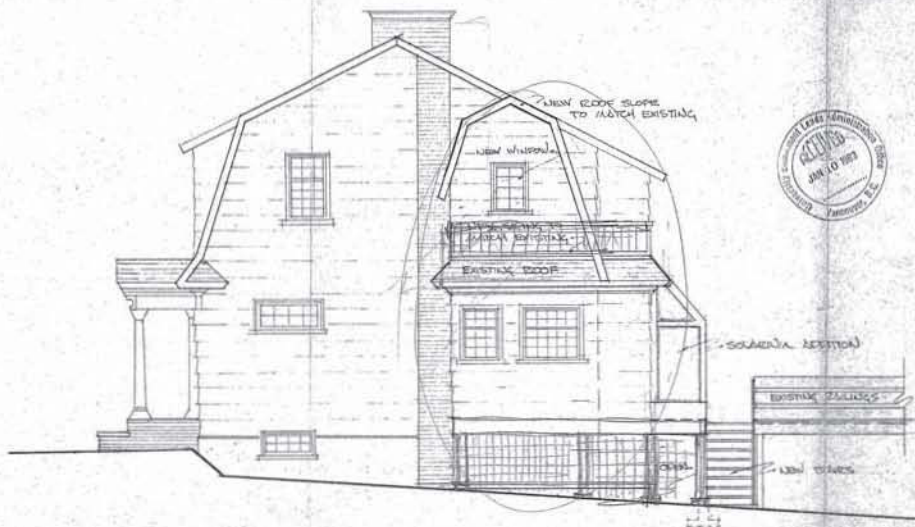
S22

FOR DEPARTMENT USE ONLY

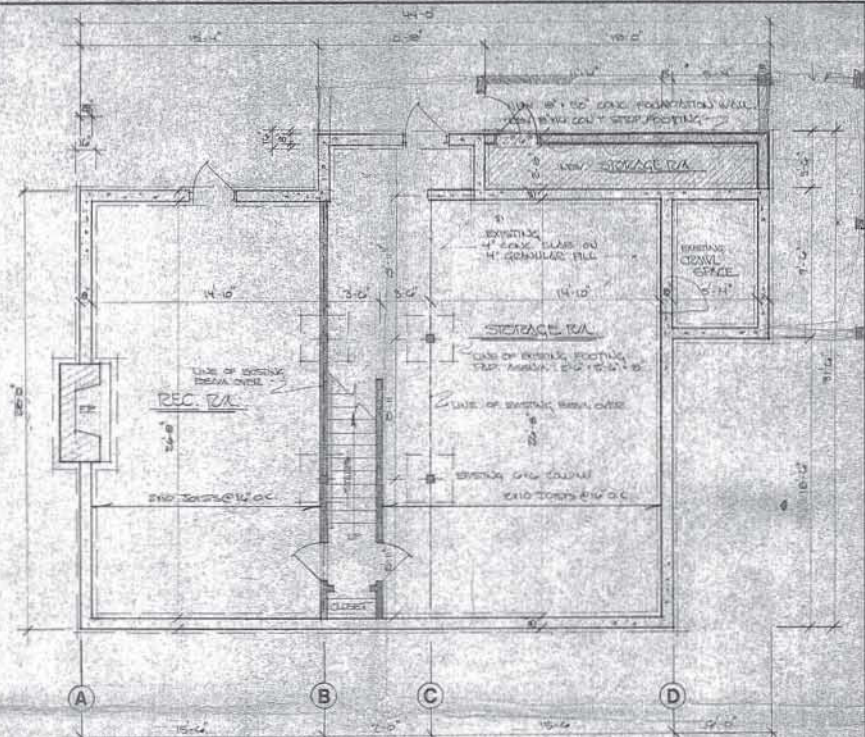
Receipt No. _____	FEES	APPLICATION, PLAN, ZONING	APPLICATION, PLAN, SPECIFICATIONS, FIRE LIMITS
Date issued: _____	Building fees - \$ _____	Checked by: <u>P. H. H. H.</u>	Checked by: _____
	Water rates - _____		
	Total - \$ _____		



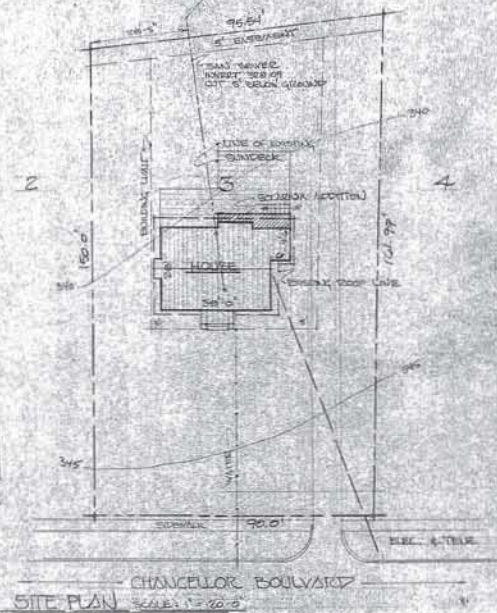
NORTH ELEVATION SCALE: 1/4" = 1'-0"



EAST ELEVATION SCALE: 1/4" = 1'-0"



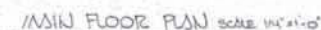
BASEMENT FLOOR PLAN SCALE: 1/4" = 1'-0"



LEGAL DESCRIPTION

LOT 5
BK 66 UNIT 2
DL 140

NO.	REVISIONS
1	Initial Construction 210' SEE - 140' SEE - 140' SEE - 140' SEE
2	3-86
3	RENOVATION + ADDITION - 5957 CHANCELLOR BLVD 1ST FLOOR ELEVATION AND PLAN
4	ELEVATIONS BASEMENT PLAN SITE PLAN
5	DESIGNED BY: J. THOMAS DRAWN BY: J. P. E.



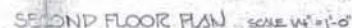
EXISTING 2x4 STUD WALLS

NEW 2x4 STUD @ 16" O.C.
1st PERMANENT BR

NEW 2x4 STUD @ 16" O.C.
EXTENDING EXISTING TO MATCH EXISTING
2ND PART SOLUTIONS, 4x4x4 POLY V.B.
1st PERMANENT

EXISTING WALLS TO BE DEMOLISH

SHOWER AREA
ADDITION TO THE HOUSE



CONSTRUCTION MUST COMPLY WITH
N.B.C. 1991 & LOCAL CODE REQUIRE-
MENTS
ALL PEAKING LIKELY TO BE FIVE
CONSTRUCTION CRUISE OR BETTER
ALL GLENS ARE TO BE SPECIFIED
BY MANUFACTURER & ENGINEER CERTIFIED

MR	REVISIONS
----	-----------

11/11/2011

S22

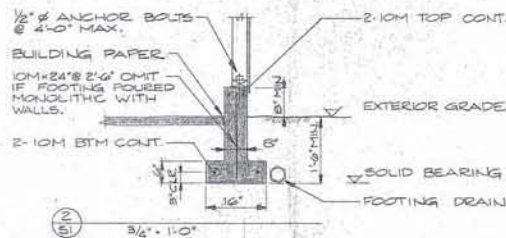
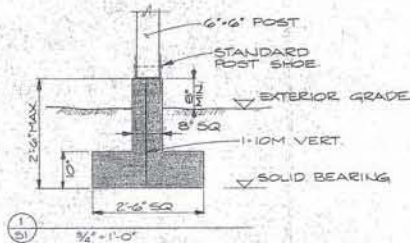
PROJECT
RENOVATION & ADDITION TO
5957 CHANCELLOR BLVD.
T.B.C. EDGEMONT LAWS, MD.

TITLE
FLOOR PLANS

2001	2002
2003	2004

25	242
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1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 2680, 26



STRUCT. NOTES (CONT'D)

CONCRETE:

- Concrete to be ready mixed. Minimum compressive strength 8 days of 20 MPa (3000 psi).
- No Admixtures to be used unless approved by Engineer.

CONCRETE REINFORCING:

- All reinforcing shall be minimum grade 300 (fy=40,000 psi).
- Reinforcement shall have clear concrete cover as follows:
Walls, columns, pilasters 1 1/2"
Footings from bottom 3"
- Reinforcement to be continuous around corners.

WOOD FRAMING:

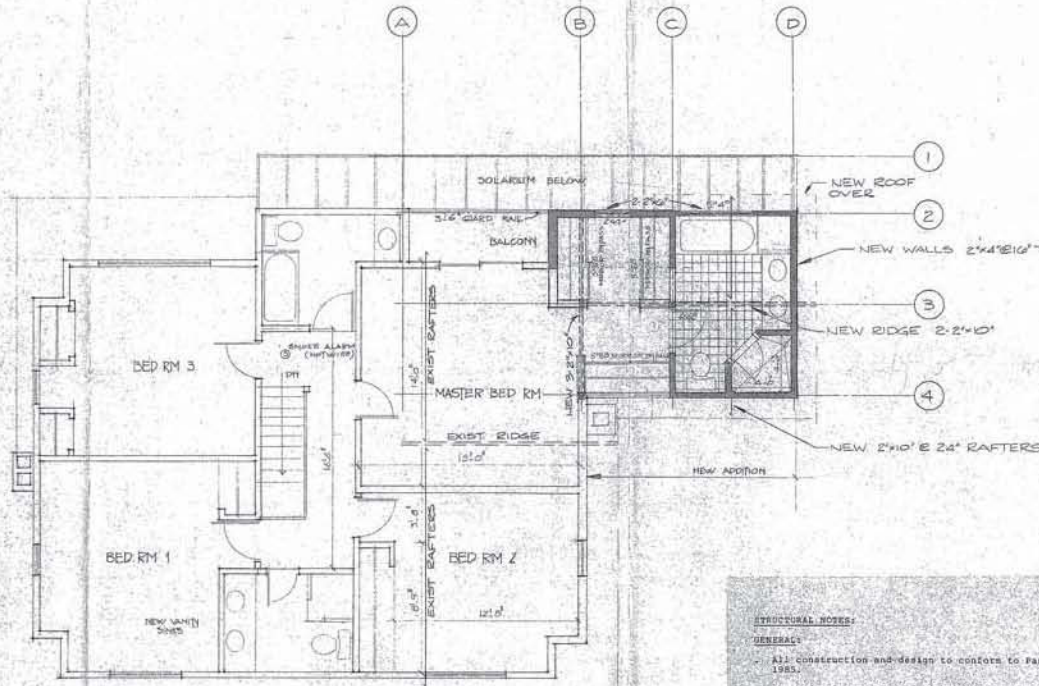
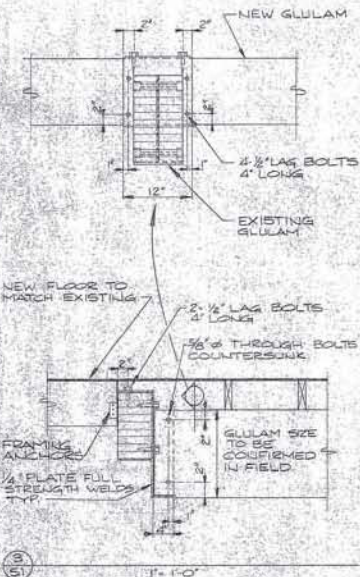
- All framing, bridging, blocking, nailing and other details not specified on drawings to be in accordance with Part 5 of the B.C.B.C. 1985.
- All joint hangers, (framing anchors), to be type FA1 as manufactured by Canada Scaffold Supply Co. Ltd. or approved equal.
- All structural lumber to be stamped by manufacturer indicating grade:
Joists and built-up beams DOUGLASS No. 2 or better
Studs and columns Hem-Fir or Spruce No. 2 or better
- Glu-lam fabrication to conform to CSA D122 and shall be manufactured in plants certified by CSA D177. Design to conform to CSA D86.
- Glu-lam beams to be 24r-6 bending grade, interior service, industrial appearance. Members to be stamped with manufacturer's identification mark.
- Laminates studs solid under all lintels and beams to width of beam. (No. of stud to equal No. of base laminations). Ensure that posts and columns are continuous to foundations.
- Plywood sheathing:
Roofs 1/2"
Floors 5/8" T&G plywood glued and nailed
Exterior wall sheathing 3/8" Exterior type plywood

DESIGN LOADS:

- Ground snow load 40.00 PSF (Roof reduction coefficient 0.6)
- Floor live loads 40.00 PSF

WTE INSPECTIONS:

- It is Contractor's responsibility to give Engineer minimum 24 hours notice for site inspections. Contractor should be aware that failure to obtain all site inspections required will result in suspension of building permit by Building Inspector.
- Inspections are required prior to:
Pouring concrete
Covering structural framing



SECOND FLOOR (FRAMING ABOVE)
1/4" = 1'-0"

STRUCTURAL NOTES:

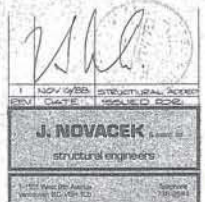
GENERAL:

- All construction and design to conform to Part 5 of the B.C.B.C. 1985.
- These drawings, prepared by Mulligan Project Management Ltd., were checked by J. Novacek and Associates Ltd. for structural adequacy of framing and foundations only. (sealed drawings only.)
- The work includes new addition and modification only and its effects on the existing structure. The existing structure was designed by and remains the responsibility of others.
- Engineer to be notified for inspection when the existing structure affected by the modifications is exposed.
- The contractor to verify the dimensions in field and notify the Engineer should any discrepancies be found.

FOUNDATIONS:

- Design allowable soil bearing pressure assumed to be 3.0 KSF, to be confirmed after excavation complete.
- All surface top soil under footings and slab on grade to be removed and footings to bear on firm undisturbed soil.
- No concrete to be placed until bearing strata, force and reinforcement inspected by Engineer.
- Where required, strip footings to be stepped-up with vertical step not more than the distance between steps. Minimum horizontal distance between steps is 3 feet.

APPROVED
BY: *[Signature]* DATE: 98-11-23
UEL



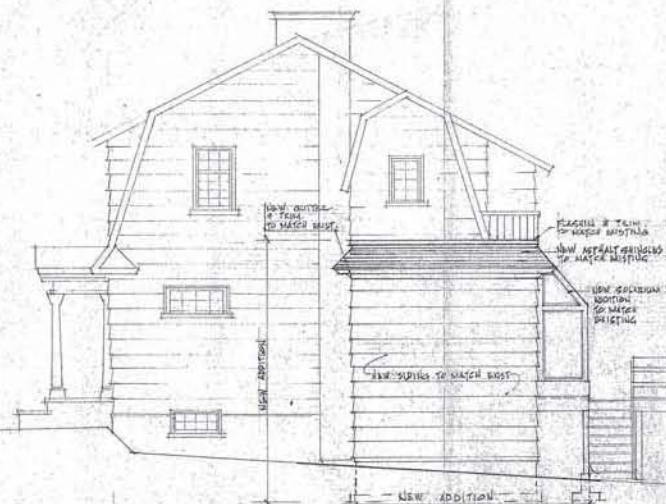
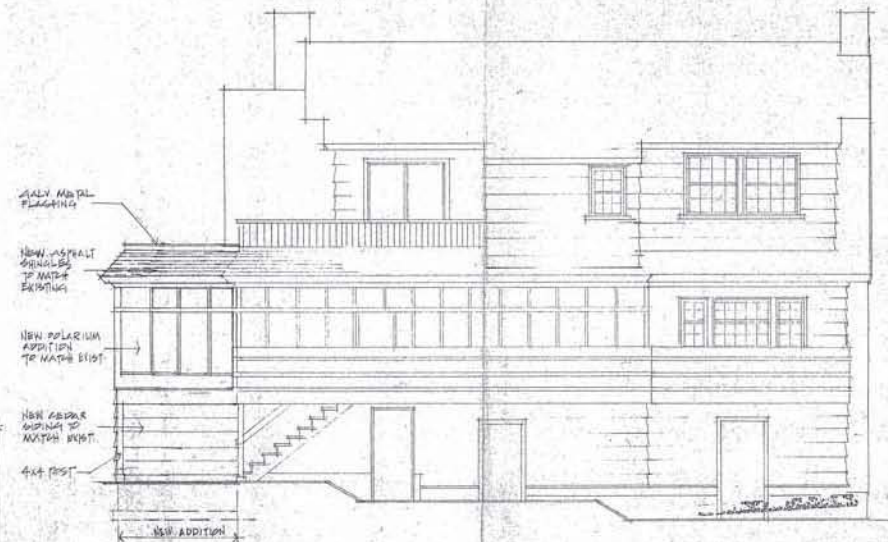
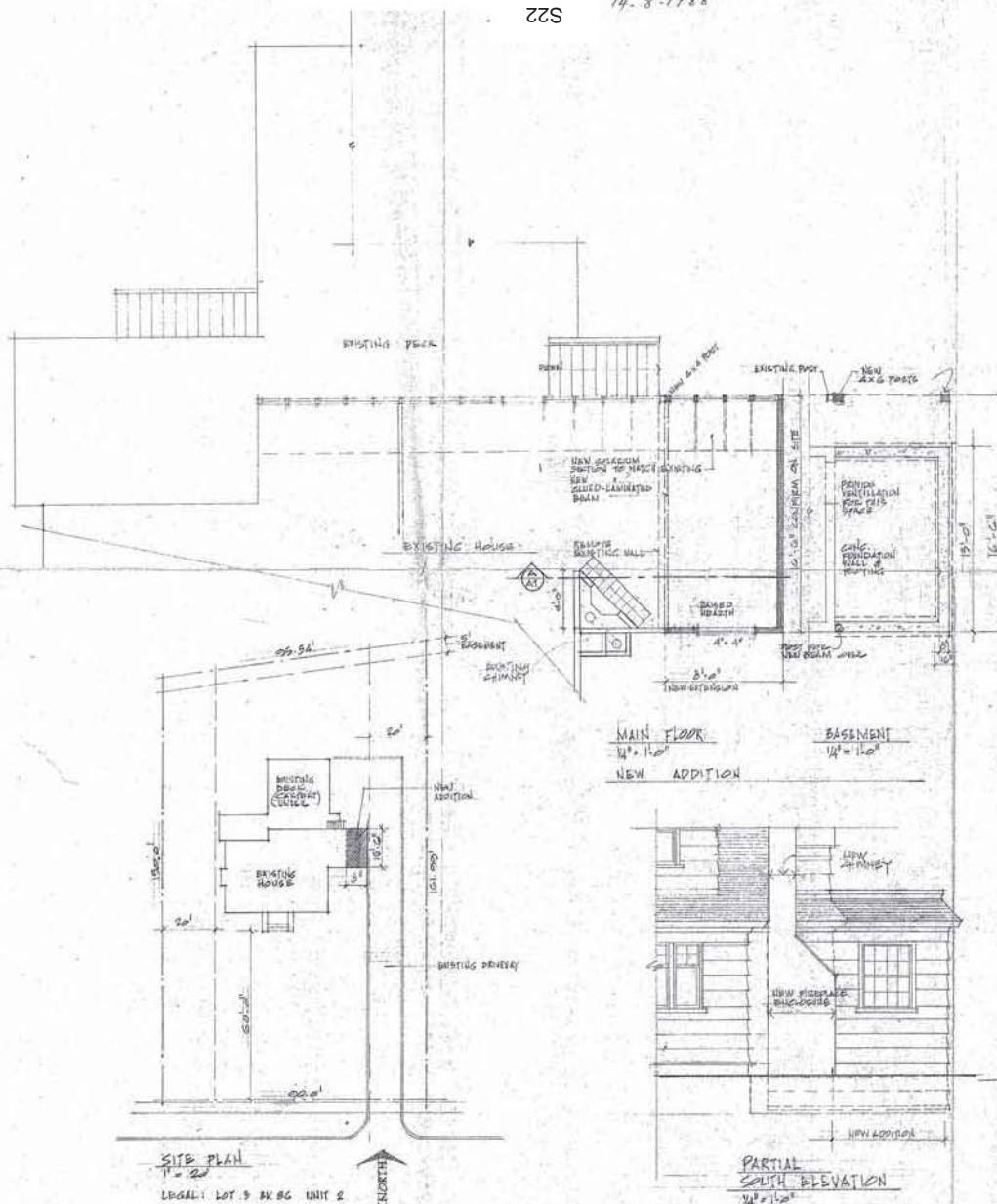
MULLIGAN
PROJECT MANAGEMENT

104-145 WEST 15TH
NORTH VANCOUVER, B.C.
PHONE: (604) 457-3003

ADDITION TO
5957 CHANCELLOR
BLVD. VANCOUVER B.C.
FOR Z2S

S2

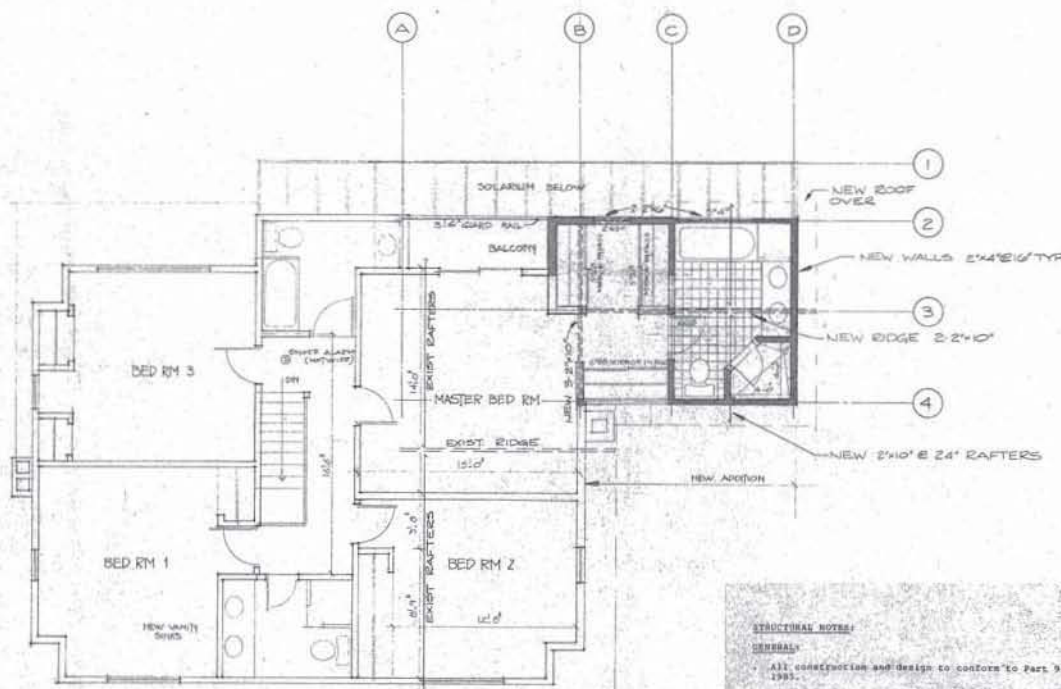
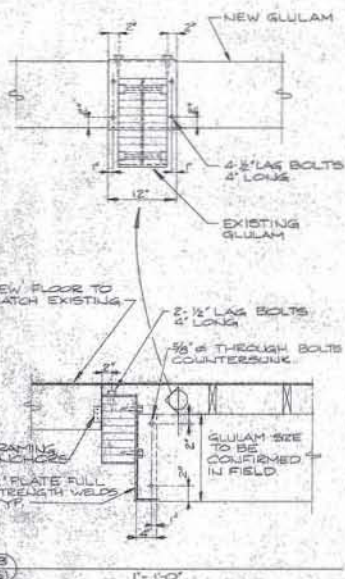
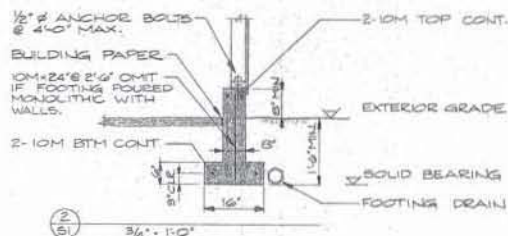
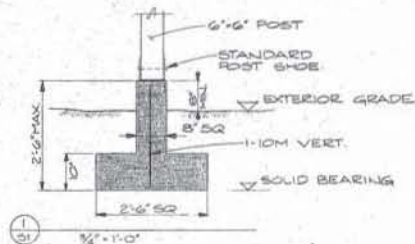
Improve the plan of No 5957 Chancellor Blvd
 of 5941 Chancellor Blvd
 22S 14.8.1988



Signature
 Copy please keep.

ADDITION TO
 5957 CHANCELLOR
 BLVD. VANCOUVER B.C.
 FOR 22S





SECOND FLOOR (FRAMING ABOVE)
1/4" = 1'-0"

STRUCT. NOTES (CONT'D):

CONCRETE:

- Concrete to be ready mixed. Minimum compressive strength 28 days of 30 MPa (4350 psi).
- No admixtures to be used unless approved by Engineer.

CONCRETE REINFORCING:

- All reinforcing shall be minimum grade 300 (Fy=40,000 psi).
- Reinforcement shall have clear concrete cover as follows:
Walls, columns, pilasters 1 1/2"
Footings from bottom 3"
- Reinforcement to be continuous around corners.

WOOD FRAMING:

- All framing, bracing, blocking, nailing and other details not specified on drawings to be in accordance with Part 9 of the B.C.B.C. 1995.
- All joist hangers, (framing anchors), to be type FAL as manufactured by Canada Scaffold Supply Co. Ltd., or approved equal.
- All structural lumber to be stamped by manufacturer indicating grade:
Joists and built-up beams: D.O.M. No. 2 or better
Studs and columns: Res-Fir or Spruce No. 2 or better
- Glulam fabrication to conform to CSA 0112 and shall be manufactured in plants certified by CSA 0117. Design to conform to CSA 086.
- Glulam beams to be 24F-E bending grade, interior service, industrial appearance. Members to be stamped with manufacturer's identification mark.
- Laminate studs solid under all lintels and beams to width of beam. (No. of stud to equal No. of beam laminations). Ensure that posts and columns are continuous to foundations.
- Plywood sheathing:
Roofs 1/2"
Floors 3/4" T&G plywood glued and nailed
Exterior wall sheathing 3/8" Exterior type plywood

DESIGN LOADS:

- Ground snow load 40.00 PSF (Snow reduction coefficient 0.8)
- Floor live loads 40.00 PSF

SITE INSPECTIONS:

- It is Contractor's responsibility to give Engineer minimum 24 hours' notice for site inspections. Contractor should be aware that failure to obtain all site inspections required will result in suspension of building permit by Building Inspector.
- Inspections are required prior to:
Pouring concrete
Covering structural framing

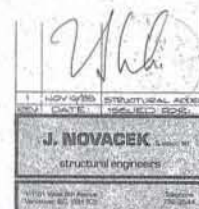
STRUCTURAL NOTES:

GENERAL:

- All construction and design to conform to Part 9 of the B.C.B.C. 1995.
- These drawings, prepared by Mulligan Project Management Ltd., were checked by J. Novacek and Associates Ltd. for structural adequacy of framing and foundations only. (sealed drawings only).
- The work includes new addition and modification only and its effects on the existing structure. The existing structure was designed by and remains the responsibility of others.
- Engineer to be notified for inspection when the existing structure affected by the modifications is exposed.
- The contractor to verify the dimensions in field and notify the Engineer should any discrepancies be found.

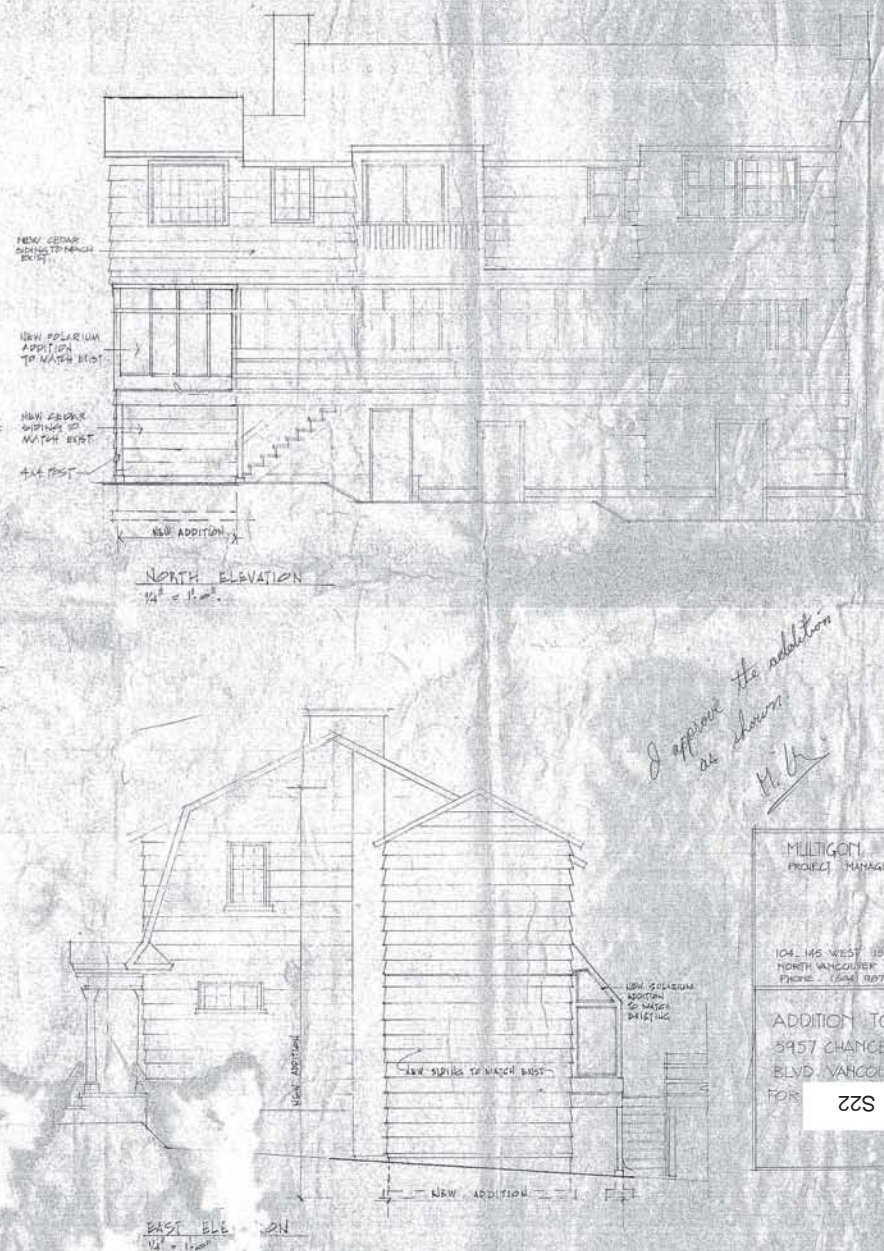
FOUNDATIONS:

- Design allowable soil bearing pressure assumed to be 3.0 tsf, to be confirmed after excavation complete.
- All surface top soil under footings and slab on grade to be removed and footings to bear on firm undisturbed soil.
- No concrete to be placed until bearing strata, forms and reinforcement inspected by Engineer.
- Where required, strip footings to be stepped-up with vertical step not more than the distance between steps. Minimum horizontal distance between steps is 2 feet.



MULLIGAN
PROJECT MANAGEMENT

104-45 WEST 15th
NORTH VANCOUVER, B.C.
PHONE: (604) 467-5003
ADDITION TO
5957 CHANCELLOR
BLVD VANCOUVER B.C.
FOR S22
S2

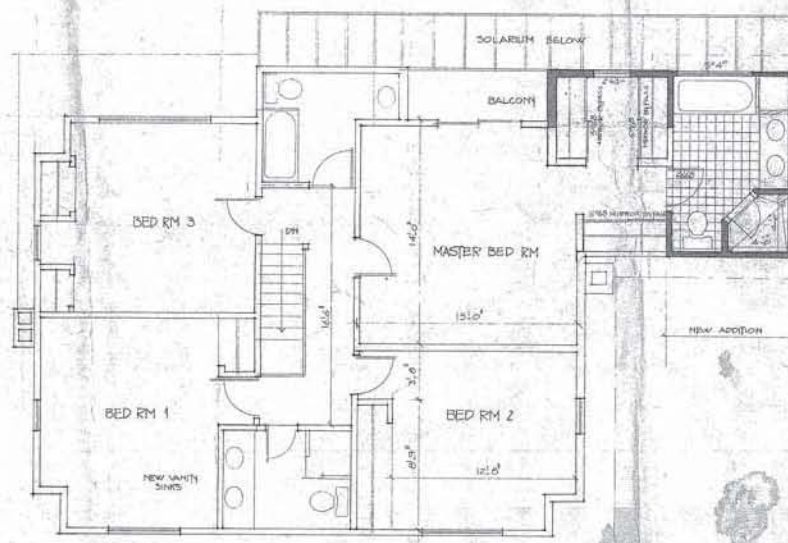


MULTIGON
PROJECT - MANAGE MENT

104-146 WEST 15TH
NORTH VANCOUVER B.C.
PHONE (604) 967-3003

ADDITION TO
5957 CHANCELLOR
BLVD. VANCOUVER - B.C.

FOR
S22



SECOND FLOOR
1/4" = 1'0"

MULTIGON PROJECT MANAGEMENT	
54.45 WEST 15 TH NORTH VANCOUVER, B.C. PHONE: (604) 987-5503	
ADDITION TO 5957 CHANCELLOR BLVD. VANCOUVER B.C.	
FOR	S22